



# CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center  
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

## Residential New Construction and Addition Permit Application

To complete this form electronically: Open with  
Internet Explorer, then [Click Here to Save](#) and continue.

<b>Property Information</b>			
Project Address: 903 Willow Street		Tax Parcel ID: 190933	
Legal Description: LOT 6 BLK 4 OLT 31-32 DIV O M K & T			
Zoning District: SF-3-NP		Lot Area (sq ft): 6527	
Neighborhood Plan Area (if applicable): EAST CESAR CHAVEZ		Historic District (if applicable): Willow-Spence	
<b>Required Reviews</b>			
Is project participating in S.M.A.R.T. Housing? <input type="radio"/> Y <input checked="" type="radio"/> N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)		Does project have a Green Building requirement? <input type="radio"/> Y <input checked="" type="radio"/> N (If yes, attach signed conditional approval letter from Austin Energy Green Building)	
Is this site within an Airport Overlay Zone? <input type="radio"/> Y <input checked="" type="radio"/> N (If yes, approval through Aviation is required)		Does this site have a septic system? <input type="radio"/> Y <input checked="" type="radio"/> N (If yes, submit a copy of approved septic permit)	
Does the structure exceed 3,600 square feet total under roof? <input type="radio"/> Y <input checked="" type="radio"/> N		(If yes, Fire review is required)	
Is this property within 200 feet of a hazardous pipeline? <input type="radio"/> Y <input checked="" type="radio"/> N		(If yes, Fire review is required)	
Is this site located within an Erosion Hazard Zone? <input type="radio"/> Y <input checked="" type="radio"/> N (If yes, EHZ review is required)		Is this property within 150 feet of the 100 year floodplain? <input type="radio"/> Y <input checked="" type="radio"/> N (Proximity to floodplain may require additional review time.)	
Is there a protected sized tree on this lot or adjacent lot(s)? <input type="radio"/> Y <input checked="" type="radio"/> N Note: Include tree location(s) on plot plan.		(If yes, application for a tree permit with the City Arborist is required)	
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input checked="" type="radio"/> Y <input type="radio"/> N			
Does this site currently have: water availability? <input checked="" type="radio"/> Y <input type="radio"/> N		(If no, contact Austin Water Utility to apply for	
wastewater availability? <input checked="" type="radio"/> Y <input type="radio"/> N		water/wastewater taps and/or service extension request.)	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? <input checked="" type="radio"/> Y <input type="radio"/> N (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)			
Does this site have or will it have an auxiliary water source? <input type="radio"/> Y <input checked="" type="radio"/> N		(If yes, submit approved auxiliary and potable plumbing plans.) (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? <input type="radio"/> Y <input checked="" type="radio"/> N (If yes, contact the Development Assistance Center for a Site Plan Exemption)			
Is this site within the Waterfront Overlay? <input type="radio"/> Y <input checked="" type="radio"/> N (LDC 25-2 Subchapter C Article 3)		Is this site within the Lake Austin Overlay? <input type="radio"/> Y <input checked="" type="radio"/> N (LDC 25-2-180, 25-2-647)	
Does this site front a paved street? <input checked="" type="radio"/> Y <input type="radio"/> N (If no, contact Development Assistance Center for Site Plan requirements.)		Is this site adjacent to a paved alley? <input checked="" type="radio"/> Y <input type="radio"/> N (Public Works approval required to take access from a public alley.) (SEE EMAIL)	
Does this site have a Board of Adjustment (BOA) variance? <input type="radio"/> Y <input checked="" type="radio"/> N		Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? <input type="radio"/> Y <input checked="" type="radio"/> N		(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	
<b>Description of Work</b>			
Is Total New/Added Building Area > 5,000 Sq Ft? <input type="radio"/> Y <input checked="" type="radio"/> N		(If yes, construction material recycling is required per LDC 25-11-39)	
Existing Use: <input type="radio"/> vacant <input checked="" type="radio"/> single-family residential <input type="radio"/> duplex residential <input type="radio"/> two-family residential <input type="radio"/> other: _____			
Proposed Use: <input type="radio"/> vacant <input type="radio"/> single-family residential <input type="radio"/> duplex residential <input checked="" type="radio"/> two-family residential <input type="radio"/> other: _____			
Project Type: <input checked="" type="radio"/> new construction <input type="radio"/> addition <input type="radio"/> addition/remodel <input type="radio"/> other: _____			
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input checked="" type="radio"/> Y <input type="radio"/> N (Note: Removal of all or part of a structure requires a demolition permit application.)			
# existing bedrooms: 3	# bedrooms upon completion: 5	# baths existing: 2.5	# baths upon completion: 4.5
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) The existing detached garage will be removed and new detached garage and ADU will be constructed. A pool will also be added and permits already exist for that.			
Trades Permits Required (Circle as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)			

Job Valuation		
Total Job Valuation: \$ <u>149,000.00</u>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>149,000.00</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ <u>125,000</u> <del>100,000</del> Elec: \$ <u>8000</u> Plmbg: \$ <u>8000</u> Mech: \$ <u>8000</u> TOTAL: \$ <u>149,000.00</u>
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ <u>0.00</u> Elec: <input type="radio"/> Y <input type="radio"/> N   Plmbg: <input type="radio"/> Y <input type="radio"/> N   Mech: <input type="radio"/> Y <input type="radio"/> N	
	Amount for Accessory Structure: \$ <u>149000</u> Elec: <input checked="" type="radio"/> Y <input type="radio"/> N   Plmbg: <input checked="" type="radio"/> Y <input type="radio"/> N   Mech: <input checked="" type="radio"/> Y <input type="radio"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 <sup>st</sup> Floor conditioned area	1410			257	<u>1410</u> <del>1410</del>	<u>257</u> <del>257</del>
b) 2 <sup>nd</sup> Floor conditioned area	429			499	<u>429</u> <del>429</del>	<u>499</u> <del>499</del>
c) 3 <sup>rd</sup> Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)				415	0.00	<u>415</u> <del>415</del>
f) Covered patio, deck, porch, and/or balcony area(s)	260			140	<u>260</u> <del>260</del>	<u>140</u> <del>140</del>
g) Other covered or roofed area				<u>419</u> <del>419</del>	0.00	0.00
h) Uncovered wood decks					0.00	0.00
<b>Total Building Area</b> (total a through h)	<u>2099</u> <del>2099</del>	0.00	0.00	<u>1730</u> <del>1730</del>	<u>2099</u> <del>2099</del>	<u>1730</u> <del>1730</del>
i) Pool			82		<u>82</u> <del>82</del>	0.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction	—	—	—	—		

#### Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Total Building Coverage (sq ft): 2592 % of lot size: 39.71

#### Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)

Total Impervious Cover (sq ft): 2887 % of lot size: 44.23

#### Setbacks

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) ☐ Y ☒ N

Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) ☐ Y ☒ N

Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) ☐ Y ☒ N

#### Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)

Building Height: 23 ft 3 in Number of Floors: 3

#### Parking (LDC 25-6 Appendix A & 25-6-478)

# of spaces required: 2 # of spaces provided: 4

#### Right-of-Way Information

Is a sidewalk required for the proposed construction? (LDC 25-6-353) ☐ Y ☒ N

\*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? ☒ Y ☐ N

Width of approach (measured at property line): 12 ft Distance from intersection (for corner lots only): n/a ft

Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? ☐ Y ☒ N  
(If yes, drainage review is required)



Subchapter F					
Gross Floor Area					
This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.					
	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 <sup>st</sup> Floor	1410	257			1667
2 <sup>nd</sup> Floor	429	499			928
3 <sup>rd</sup> Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)	109	140	<input checked="" type="radio"/> Full Porch sq ft (3.3.3 A) <input type="radio"/> 200 sq ft (3.3.3 A 2)	400	0.00
Basement			Must follow article 3.3.3B, see note below		0.00
Attic			Must follow article 3.3.3C, see note below		0.00
Garage** (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0.00
	Detached	415	<input checked="" type="radio"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="radio"/> 200 sq ft (3.3.2 B 2a / 2b)	415	0.00
Carport** (check article utilized)	Attached		<input type="radio"/> 450 sq ft (3.3.2 A 3) <input type="radio"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	0.00	0.00			0.00
TOTAL GROSS FLOOR AREA (add Total Sq Ft column) <del>2595</del> 2595					
(Total Gross Floor Area ÷ Lot Area) x 100 = 39.75 Floor-To-Area Ratio (FAR)					
Is a sidewall articulation required for this project? <input type="radio"/> Y <input checked="" type="radio"/> N (Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)					
Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? <input type="radio"/> Y <input checked="" type="radio"/> N (If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)					
<p>*Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.</p> <p>**Garage and carport exemptions (in relation to primary structure): Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."</p> <p>***Ordinance article 3.3.2 B 1 is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.</p> <p>Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.</p> <p>Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.</p>					

BUILDING AND SITE AREA			
AREA DESCRIPTION	EXISTING SQ FT	NEW/ ADDITIONAL SQ FT	TOTAL SQ FT
* PROVIDE A SEPARATE CALCULATION FOR EACH DISTINCT AREA. ATTACH ADD. SHEETS AS NECESSARY. MEASUREMENTS ARE TO THE OUTSIDE SURFACE OF THE EXT. WALL.			
a) 1st FLOOR CONDITIONED AREA	1,410	257	1,667
b) 2nd FLOOR CONDITIONED AREA	429	499	928
c) 3rd FLOOR CONDITIONED AREA			
d) BASEMENT			
e) COVERED PARKING (GARAGE OR CARPORT)		415	415
f) COVERED PATIO, DECK OR PORCH	260	140	400
g) BALCONY (+5 FOR CANTILEVER)		110	110
h) OTHER (ROOF TERRACES)		309	309
i) UNCOVERED WOOD DECK (COUNTS 50%)			
GROSS BUILDING AREA (TOTAL A THROUGH I)	2,099	1,730	3,829
j) POOL	82		
k) SPA			

**BUILDING COVERAGE INFORMATION**

NOTE: BUILDING COVERAGE MEANS THE AREA OF A LOT COVERED BY BUILDINGS OR ROOFED AREAS, BUT EXCLUDES GROUND LEVEL PAVING, LANDSCAPING, OPEN RECREATIONAL FACILITIES, INCIDENTAL PROJECTING EAVES AND SIMILAR FEATURES. POOLS, PONDS AND FOUNTAINS ARE NOT INCLUDED IN THIS MEASUREMENT. (LDC 25-1-21)

	SQ FT	% OF LOT SIZE
TOTAL BUILDING COVERAGE	2,592	39.71%

NOTE: IMPERVIOUS COVER IS THE TOTAL HORIZONTAL AREA OF COVERED SPACES, PAVED AREAS, WALKWAYS AND DRIVEWAYS. THE TERM EXCLUDES, POOLS, PONDS, FOUNTAINS AND AREAS WITH GRAVEL PLACED OVER PERVIOUS SURFACES THAT ARE USED ONLY FOR LANDSCAPING OR BY PEDESTRIANS. FOR AN UNCOVERED WOOD DECK THAT HAS DRAINAGE SPACES BETWEEN THE DECK BOARDS AND THAT IS LOCATED OVER A PERVIOUS SURFACE, 50 PERCENT OF THE HORIZONTAL AREA OF THE DECK IS INCLUDED IN THE MEASUREMENT OF IMPERVIOUS COVER. (LDC 25-1-23)

	SQ FT	% OF LOT SIZE
TOTAL IMPERVIOUS COVER	2,887	44.23%

ARE ANY EXISTING STRUCTURES IN THIS SITE A NON-COMPLIANT STRUCT. BASED ON A YARD SETBACK REQUIREMENT? (LDC 25-2-513)	YES	NO
DOES ANY STRUCTURE (OR ELEMENT OF A STRUCTURE) EXTEND OVER OR BEYOND A REQUIRED YARD? (LDC 25-2-513)		NO
IS FRONT YARD SETBACK AVERAGING BEING UTILIZED ON THIS PROPERTY? (LDC 25-2, SUCHAPTER F, SEC. 2.3)		NO
HEIGHT INFORMATION (LDC 25-1-21 OR 25-2 SUBCHAPTER F, SECTION 3.4)		

	FEET	# OF FLOOR.
BUILDING HEIGHT	231.3'	3

# OF SPACES REQUIRED	2
# OF SPACES PROVIDED	4

RIGHT-OF-WAY INFORMATION	YES	NO
IS A SIDEWALK REQUIRED FOR THE PROPOSED CONST? (LDC-6-353)		

IS A SIDEWALK REQUIRED FOR THE PROPOSED CONST.? (LDC-6-353)  
SIDEWALKS ARE TO BE INSTALLED ON ANY NEW CONSTRUCTION OF A SINGLE FAMILY, TWO-FAMILY OR DUPLEX RESIDENTIAL STRUCTURE AND ANY ADDITION TO AN EXISTING BUILDING THAT INCREASES THE BUILDING'S GROSS FLOOR AREA BY 50% OR MORE.

WILL A TYPE I DRIVEWAY APPROACH BE INSTALLED, RELOCATED, REMOVED OR REPAIRED AS PART OF THIS PROJECT?

	FEET
WIDTH OF APPROACH (MEASURED @ PROP. LINE)	12'-0"
DIST. FROM INTERSECTION (CORNER LOTS ONLY)	N/A

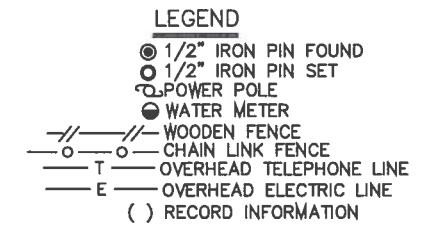
ARE STORM SEWER INLETS LOCATED ALONG THE PROPERTY OR WITHIN (10) FEET OF THE BOUNDARIES OF THE PROPERTY?	N/A
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THIS SECTION IS ONLY REQUIRED FOR PROJECTS LOCATED WITHIN THE RESIDENTIAL DESIGN AND CONSTRUCTION STANDARDS ORDINANCE BOUARIES AS DEFINED AND ILLUSTRATED IN TITLE 25-2 SUBCHAPTER F OF THE LAND DEVELOPMENT CODE. THE GROSS FLOOR AREA OF EACH FLOOR IS MEASURED AS THE AREA CONTAINED WITHIN THE OUTSIDE EDGE OF THE EXTERIOR WALLS. AREAS WITH CEILING HEIGHT OVER 10 FEET ARE COUNTED TWICE.					
EXISTING SQ FT	NEW/ SQ FT	PROPOSED EXEMPTION	APPLIED EXEMPTION SQ FT	TOTAL SQ FT	

1st FLOOR	1,410	257			1,667
2nd FLOOR	429	499			928
3rd FLOOR					
GROUND FLOOR PORCH	260	140	<input checked="" type="checkbox"/> FULL PORCH (3.3.3 A) <input type="checkbox"/> 200 SQ FT (3.3.3 A 2)	400	0
BASEMENT					
ATTIC			MUST FOLLOW ARTICLE 3.3.5C		
GARAGE (ATTACHED)			<input type="checkbox"/> 200 SQ FT (3.3.3 B 2b)		
(DETACHED)			<input checked="" type="checkbox"/> 450 SQ FT (3.3.3 A 1/2b) <input type="checkbox"/> 200 SQ FT (3.3.3 B 2a)	415	0
CARPORT (ATTACHED)					
(DETACHED)					
ACCESSORY BUILDINGS (DETACHED)					
CEILINGS OVER 15'			MUST FOLLOW ARTICLE 3.3.5		

TOTAL GROSS FLOOR AREA:	2,595
(TOTAL GROSS FLOOR AREA/LOT SIZE) FAR:	39.75%

IS THIS PROJECT CLAIMING A "PARKING AREA" EXEMPTION?	YES	
IS THIS PROJECT CLAIMING A "GROUND FLOOR PORCH" EXEMPTION?	YES	
IS THIS PROJECT CLAIMING A "BASEMENT" EXEMPTION?		NO
IS THIS PROJECT CLAIMING A "HABITABLE ATTIC" EXEMPTION?		NO
IS A SIDEWALL ARTICULATION REQUIRED FOR THIS PROJECT?		NO
DOES ANY PORTION OF THE STRUCTURE EXTEND BEYOND SETBACK PLANE?		NO
ARE ANY CEILINGS OVER 15 FEET IN HEIGHT?		NO



# REVIEWED

MAR 30 2017

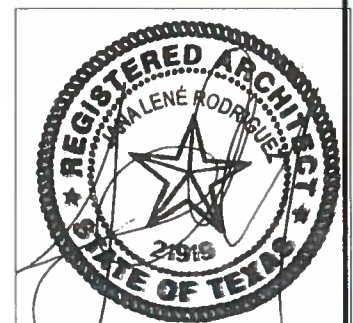
AUSTIN WATER UTILITY  
CONSUMER SERVICE DIVISION - TAPS

TREES:  
T1 - 18" ELM  
T2 - 11" ELM  
T3 - 12" ELM  
T4 - 13" ELM  
T5 - 8", 8" PECAN  
T6 - 16" PECAN  
T7 - 11" SPANISH OAK  
T8 - 14" ELM  
T9 - 8" PECAN

- \* ALL EXISTING ROCK WALLS AND PLANTERS TO BE REMOVED
- \* NEW DRIVEWAY AT ALLEY TO BE INSTALLED PER C.O.A.'S GUIDELINES

AE APPROVED

MAR 31 2017  
90-305  
JCD



3.27.2017

**5511  
Parkcrest Dr.  
Suite 102  
Austin, Texas 78731  
(512)328-2209**

**The PFA** Design Group  
ARCHITECTS AND PLANNERS

PLAN  
MARTIN  
3-27-17  
SHEET  
SITE

All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines.

No structures, pools etc.  
may be placed in an electric  
utility easement.

NEW SITE PLAN

SCALE:

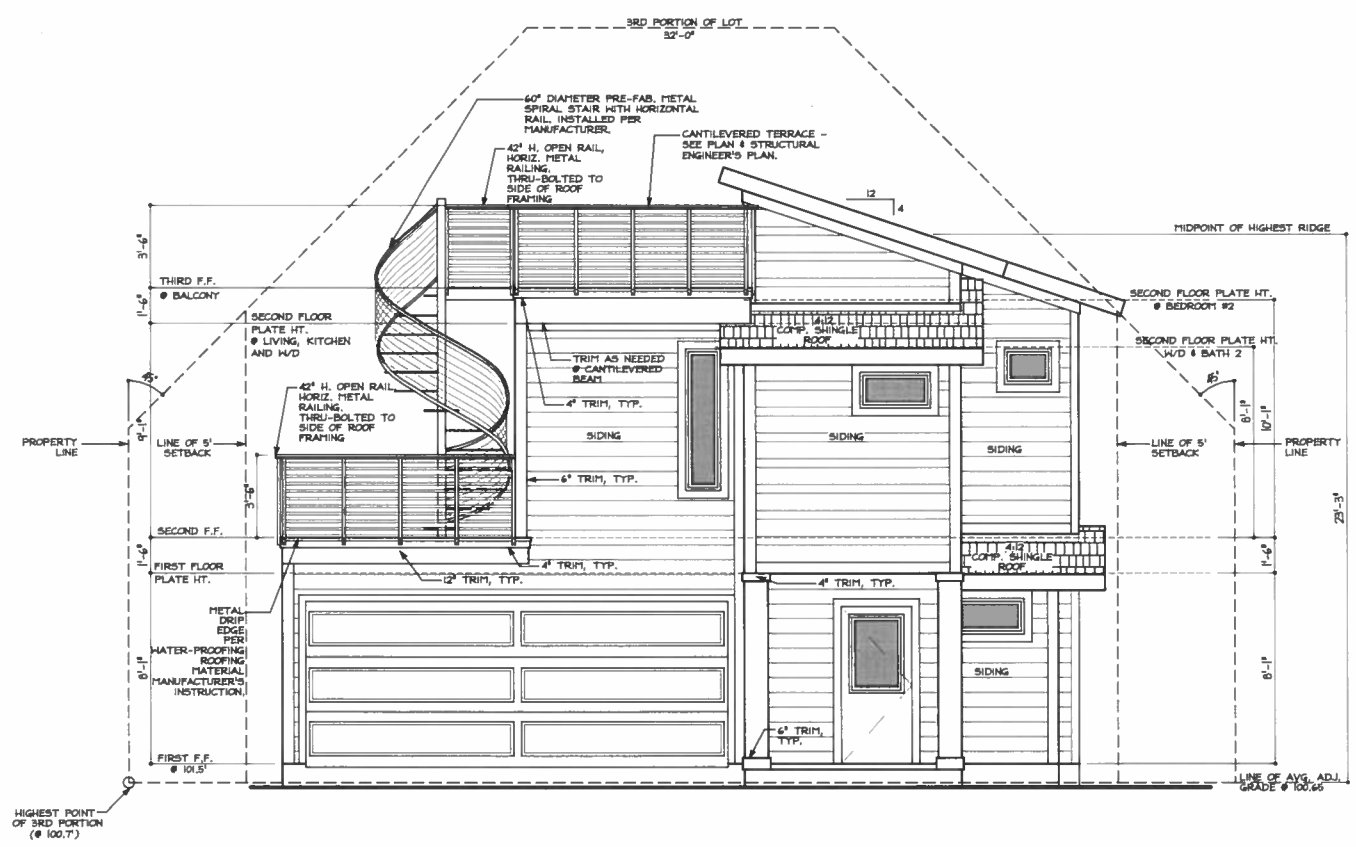
$$I'' = 20' - 0''$$

THE ARCHITECTS AND PLANNERS OF THE PFA DESIGN GROUP, INC. ARE NOT BEING HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DOCUMENT. THE ARCHITECTS AND PLANNERS OF THE PFA DESIGN GROUP, INC. ARE NOT BEING HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DOCUMENT. THE ARCHITECTS AND PLANNERS OF THE PFA DESIGN GROUP, INC. ARE NOT BEING HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DOCUMENT.

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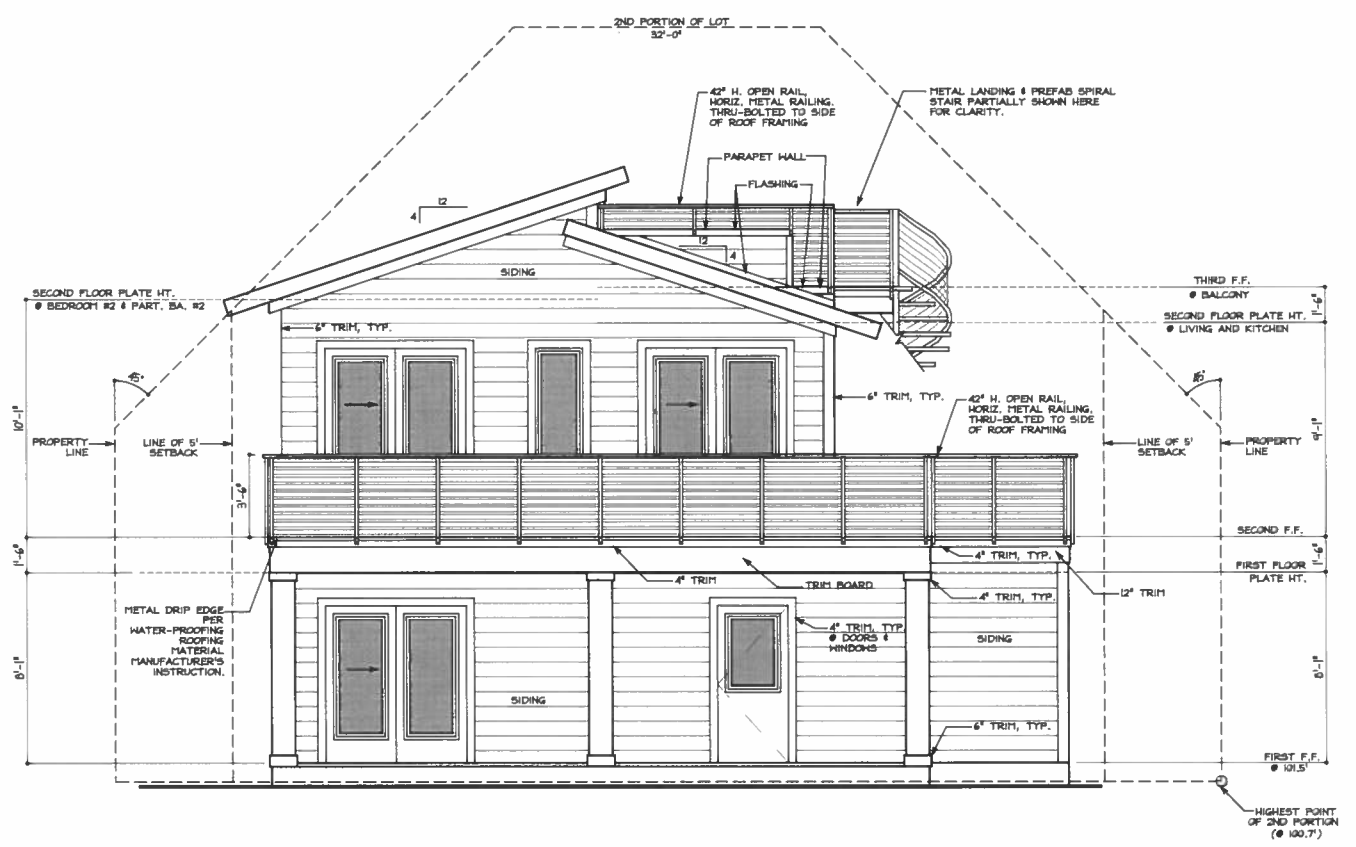
# The PFA Design Group

ARCHITECTS AND PLANNERS



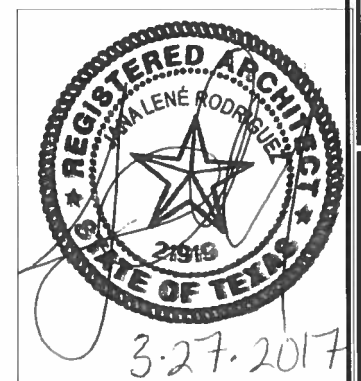
**SOUTH-ALLEY ELEVATION**

SCALE: 1/8" = 1' - 0"



**NORTH-BACKYARD ELEVATION**

SCALE: 1/8" = 1' - 0"



PLAN  
MARTIN  
3-27-17  
SHEET  
**A-1**  
OF 4

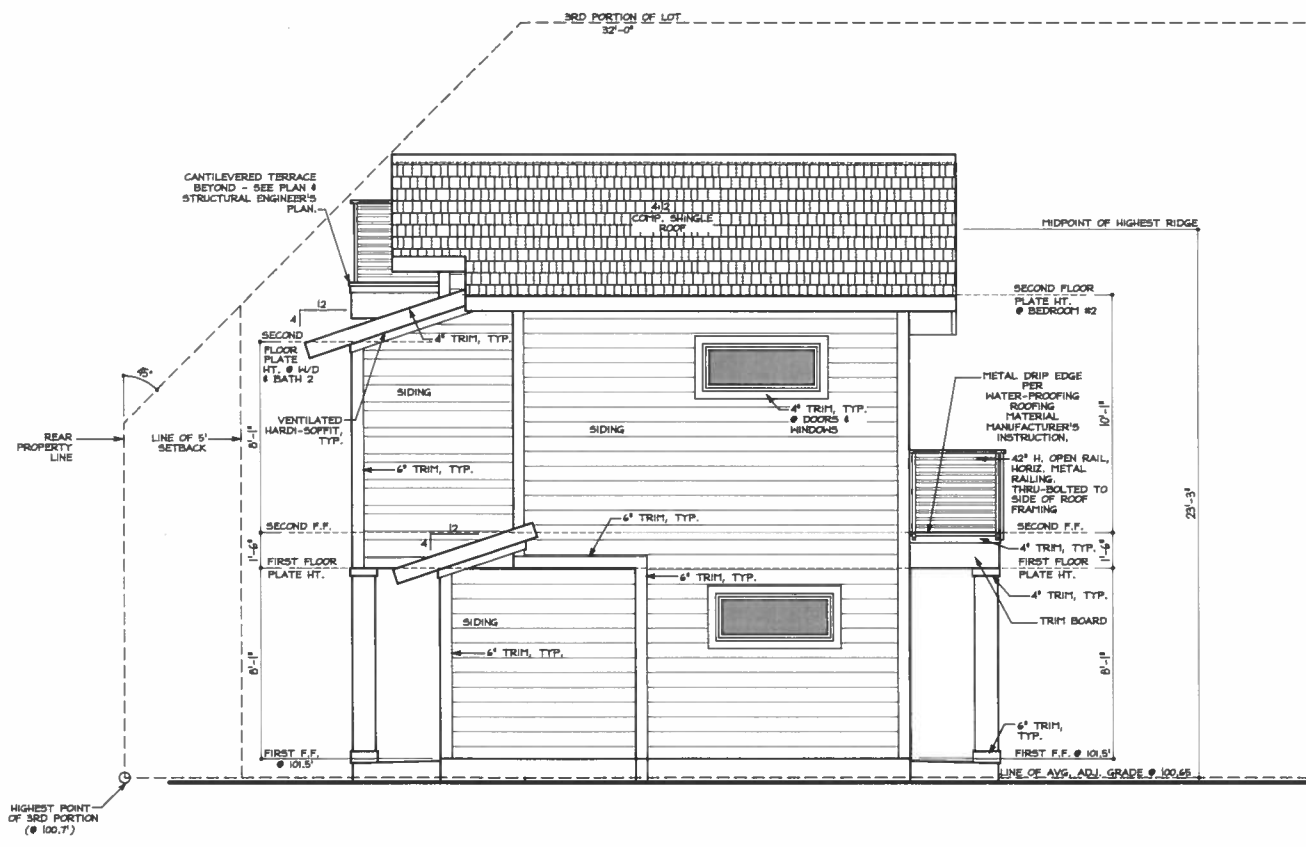
THE ARCHITECTS AND PLANNERS  
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The PFA Design Group  
ARCHITECTS AND PLANNERS

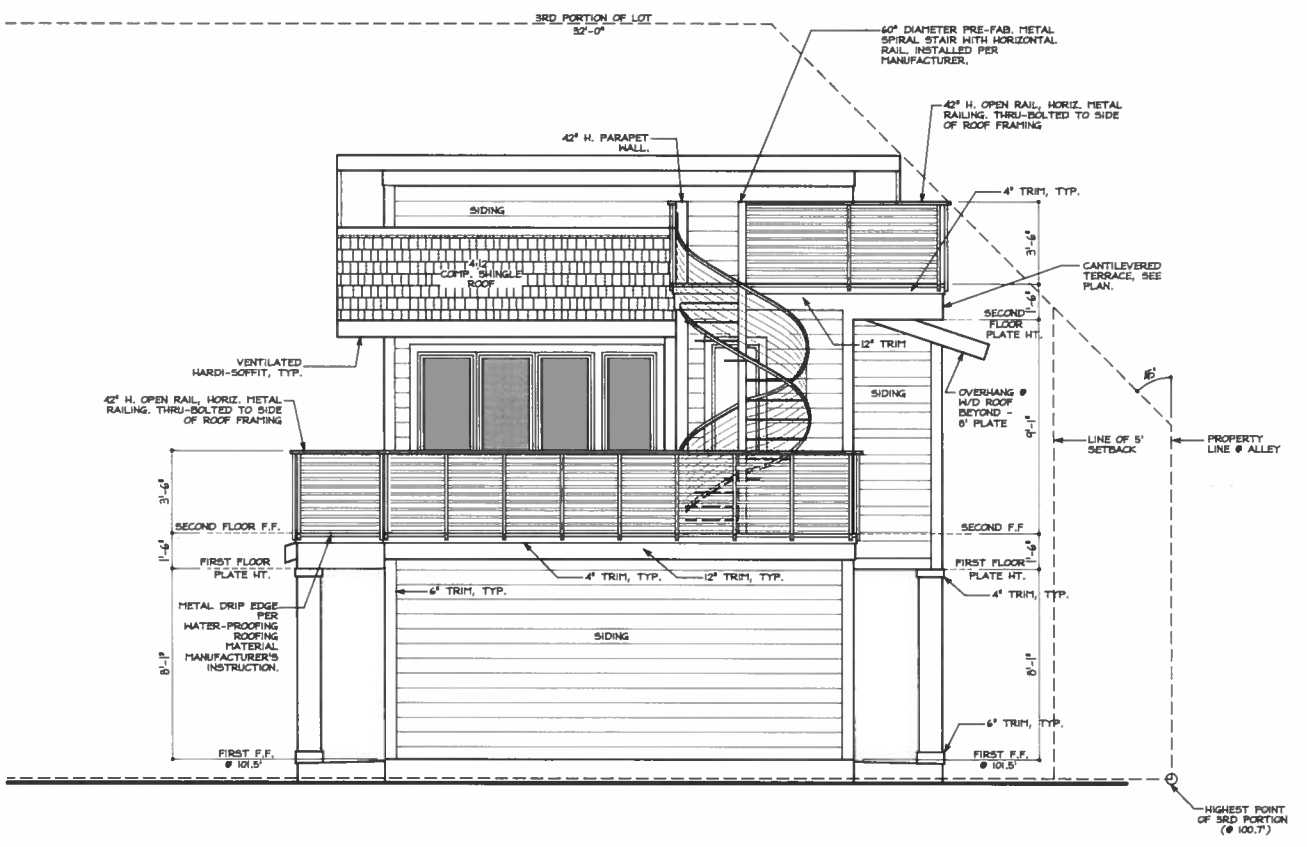
PLAN  
MARTIN  
3-27-17

SHEET  
A-3  
OF 4



EAST-LEFT ELEVATION

SCALE: 1/8" = 1' - 0"



WEST-RIGHT ELEVATION

SCALE: 1/8" = 1' - 0"



3-27-2017